

DEVELOPMENT REVIEW BOARD REPORT



MEETING DATE: April 7, 2005

ITEM NO. 4

CASE NUMBER/ PROJECT NAME	13-DR-2005 Desert Park Community Center		
LOCATION	98th Street And Union Hills Drive		
REQUEST	Request approval for a site plan and elevations for a new community and recreational facility at DC Ranch.		
OWNER	DC Ranch LLC 480-367-7000	ENGINEER	Wood, Patel & Associates Inc. 480-834-3300
ARCHITECT/ DESIGNER	SHJ Studio 602-248-4912	APPLICANT/ COORDINATOR	Shelly McTee Biskind Hunt & Taylor 602-955-2328
BACKGROUND	<p>Zoning.</p> <p>This property is located on the south side of Union Hills Drive, between the Reata Wash and Thompson Peak Parkway. The R1-7 PCD District allows community centers upon approval of a conditional use permit, which was approved by the City Council in February 2005.</p> <p>Context.</p> <p>This 3.5-acre property is located at the south side of the DC Ranch Master Planned Community and is part of DC Ranch's Town Center study area. This property is bounded by Union Hills Drive and future single-family homes to the north, future multi-family condominiums to the east, future single-family homes to the south, and the Reata wash and single-family homes to the west. The property has gentle slopes to the southwest, was partially used for material stockpiling, and a construction access road lies along the south side of the property.</p>		
APPLICANT'S PROPOSAL	<p>Applicant's Request.</p> <p>This is a request for approval of the site plan and elevations for a community center at DC Ranch. There will be two points of access to the community center from Union Hills Drive. All development will comply with the Generalized Design Concept (GDC) for the Town Center Study Area and with the Master Development Plans for DC Ranch, including the Master Circulation Plan and the Environmental Design Master Plan.</p>		

Development information.

- *Existing Use:* Vacant
- *Parcel Size:* 3.5 +/- acres
- *Buildings/Description:* 1 building, recreation structures
- *Building Height Allowed:* 30 feet
- *Building Height Proposed:* 29 feet (one story with vaulted ceilings)
- *Indoor Floor Area:* 7,500 +/- sq. ft.
- *Outdoor Activity Area:* 25,000 +/- sq. ft.
- *Parking Required:* 120 +/- spaces
- *Parking Provided:* 160 +/- spaces

DISCUSSION

The proposed community center will have a 29-foot tall (one-story) building located at the northeast corner of the site. The 7,500 square foot building will have multi-purpose rooms, a kitchen, a conference room, and offices. South of the building will be an event lawn, basketball half-court, and children's activity area. The parking will be provided on the east side of the site. Landscaped setbacks will be provided along Union Hills Drive, and surrounding the development.

The architecture for the community center will be consistent with the Spanish architectural themes for this part of DC Ranch. A mixture of clay and brown color mission roof tiles will be used, and the stucco building colors include a combination brown, clay, and fiery brown. A brick trim parapet cap is also proposed, along with wood beams, wood columns, and wood siding accents.

Over 60,000 square feet of open space will be provided around the property, in the event lawn, and within the activity areas. The outdoor event lawn and activity areas will be buffered from the planned residential lots to the south by approximately 80 feet. The interwoven fabric shade canopies over the play areas will be muted colors of blue-gray and/or deep green. The buffer area will include an access driveway, landscaping, and rusted metal low screen walls.

Exterior building-mounted lights will be no taller than 12 feet in height, and exterior pole-mounted lights will be no taller than 16 feet in height. All fixtures are required to be full cut-off fixtures and directed downward.


STAFF
RECOMMENDATION

Staff recommends approval, subject to the attached stipulations.

STAFF CONTACT(S)

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Project Coordination Manager
Phone: 480-312-4210
E-mail: tcurtis@scottsdaleaz.gov

APPROVED BY



Tim Curtis
Report Author



Lusia Galav, AICP
Development Planning Manager
480-312-2506
lgalav@scottsdaleaz.gov

ATTACHMENTS

1. Applicant's Narrative
2. Context Aerial
- 2A. Aerial Close-Up
3. Zoning Map
4. Site Plan
5. Landscape Plan
6. Elevations – Color
7. Elevations – Black & White
- A. Fire Ordinance Requirements
- B. Stipulations/Zoning Ordinance Requirements



DC RANCH DESERT PARKS COMMUNITY CENTER

Development Review Board

Case # 549-PA-2004

Project Narrative

I. Project Overview

The purpose of this application is to request Development Review Board ("DRB") approval of the DC Ranch Desert Parks Community Center (the "Community Center") in an area of DC Ranch zoned R1-7. The subject property consists of a triangular shape of land approximately 4 acres and is located at the southwest corner of Union Hills Drive and the 98th Street alignment (the "Property") within the DC Ranch master planned community ("DC Ranch"). The Property is owned by DC Ranch L.L.C., an Arizona limited liability company ("Owner"). The Owner proposes to develop the Property with a community and recreational facility for the residents of DC Ranch.

II. Location

The Property is located along the southern edge of and within the Town Center area of DC Ranch. The Community Center will be part of Town Center, which is planned to be a mixed-use development consisting of office, retail and residential uses including the Village Health Club and Spa. Access to the Community Center will be from Union Hills Drive to the north of the Property and the 98th Street alignment to the east of the Property.

III. Property Characteristics

The Property is currently undeveloped and being utilized for a dirt and rock stockpile pursuant to City of Scottsdale (the "City") standards. The majority of the Property is characterized as gently sloping to the southwest. There are no significant or Section 404 washes on the Property. The Property was vegetated with typical desert vegetation found in the area including cacti and palo verde trees.

IV. Description of Use

The Community Center is planned to be approximately 7,500 square feet of indoor area and approximately 25,000 square feet of outdoor activity areas. The building will be one (1) story with a maximum height of thirty feet (30') in accordance with the DC Ranch Second Amendment to Development Agreement dated October 19, 1998, as amended and the Conditional Use Permit approved for the Community Center. Any architectural features will be in compliance with applicable height limitations. The indoor portion of

ATTACHMENT #1

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the Community Center consists of multi-purpose rooms, offices, restrooms, and catering facilities. In addition to the indoor areas of the Community Center, there may be one or more of the following outdoor activity areas included within the programming of this facility: basketball/volleyball court, children's play area, tot lot, event lawn, and an interactive water feature. The Community Center will be a private facility for the benefit of the residents of DC Ranch.

The building is located on the northeastern portion of the Property with parking along the western and southern portions of the Property. Parking will be provided within a landscaped parking lot and will include approximately 160 surface parking spaces, in accordance with the requirements of the Development Agreement as well as other applicable City of Scottsdale requirements. The City standards and the DC Ranch master drainage report may require a retention area within the western edge of the Property.

The Property will be landscaped consistent with the landscape palette set forth in the Environmental Design Master Plan for DC Ranch and will include desert varieties native to the area. Significant amounts of landscaping will be provided along the entire perimeter of the Property as well as parking lot landscaping. There is also a buffer area along the southern boundary of the Property which will consist of roadway improvements, parking, a significant amount of landscaping, potentially a screen wall, and an existing sewer line.

The architecture for the Community Center will be consistent with the architecture themes contained in the master plan for this part of DC Ranch. Specifically, the design palette will be that utilized for the residential area of DC Ranch referred to as the Upper Canyon. The architectural styles have a Spanish origin and are being utilized to guide residential development in Silverleaf. The Upper Canyon Design Guidelines (the "Guidelines") encourage diversity by using a variety of Spanish architectural styles including Spanish Colonial, Mediterranean Revival, Spanish Mission and Ranch Hacienda. The Guidelines utilize the various architectural styles to create a sense of timeless quality by focusing on simple materials, detail and elegant massing. The architecture for the Community Center will be subject to design approval by the DC Ranch Covenant Commission in order to ensure conformance with the recorded covenants, conditions and restrictions for DC Ranch.

V. Compatibility with Surrounding Properties

The Community Center is planned for an area of DC Ranch that will include commercial, office, retail, residential, and activity uses and therefore is compatible with and will complement uses planned for Town Center. Furthermore, given the recreational nature of the use, this type of use is often located adjacent to residential uses. While the Community Center is compatible with planned adjacent uses, all of the surrounding property is currently undeveloped as reflected in Table 1 below.

Table 1

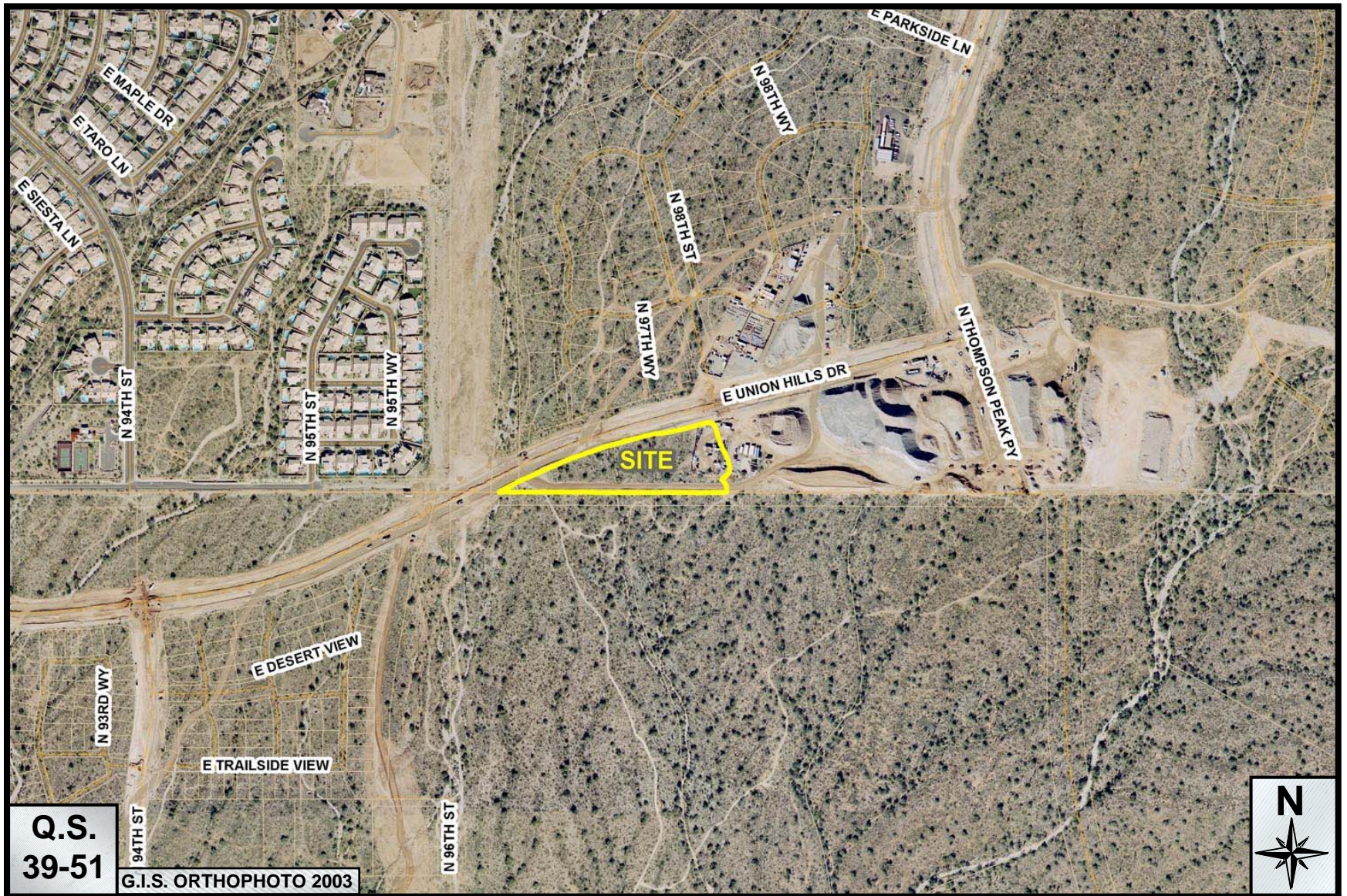
Property	Ownership Status	Proposed Use	Existing Zoning	Proposed Minimum Improvement Setbacks to Property Line
<i>Subject Property</i>	DC Ranch	Community Center	R1-7	20' to Union Hills Drive 50' to east 40' to southern edge of event lawn and 10' to Reata Pass Wash
North of Property	DC Ranch	Single family residential	R1-10	40' minimum from back of curb to lot line and 25' building setback from lot line for total of 65' for homes adjacent to Union Hills Drive
East of Property	DC Ranch	Single family attached residential	R-5	20' minimum building setback from back of curb for homes adjacent to 98 th Street alignment
South of Property	Toll Brothers	Single family residential	R1-7 R1-10 ESL	20' buffer between property line and lot line, 15' rear property setback for a total of 35' for homes south of the Community Center
West of Property	City	Reata Pass Wash	OS	NA

The Community Center is appropriately located in a residential area of DC Ranch along a major arterial roadway. The design of the Community Center will incorporate features to ensure compatibility with the surrounding residences, in particular the design of the outdoor activity areas. First, there are substantial setbacks between the adjacent development and the proposed uses at the Community Center as shown in the table above. Second, there will be substantial landscaping along the perimeter of the Property. Third, at the southern boundary of the event lawn, there will be a gentle sloping berm and landscaping to screen the outdoor activity areas and the parking from the adjacent developments and roadway.

The site lighting will be designed to conform to City of Scottsdale ordinances and the overall DC Ranch design guidelines. The exterior lighting of the Community Center will be designed to provide the least impact to the surrounding development, while maintaining adequate light levels for security. The lighting along the northern portion of the site, if any, will be installed in conjunction with the improvements to Union Hills Drive. The parking lot lighting utilized will be in conformance with lighting

requirements for development adjacent to residential uses as well as designed for security.

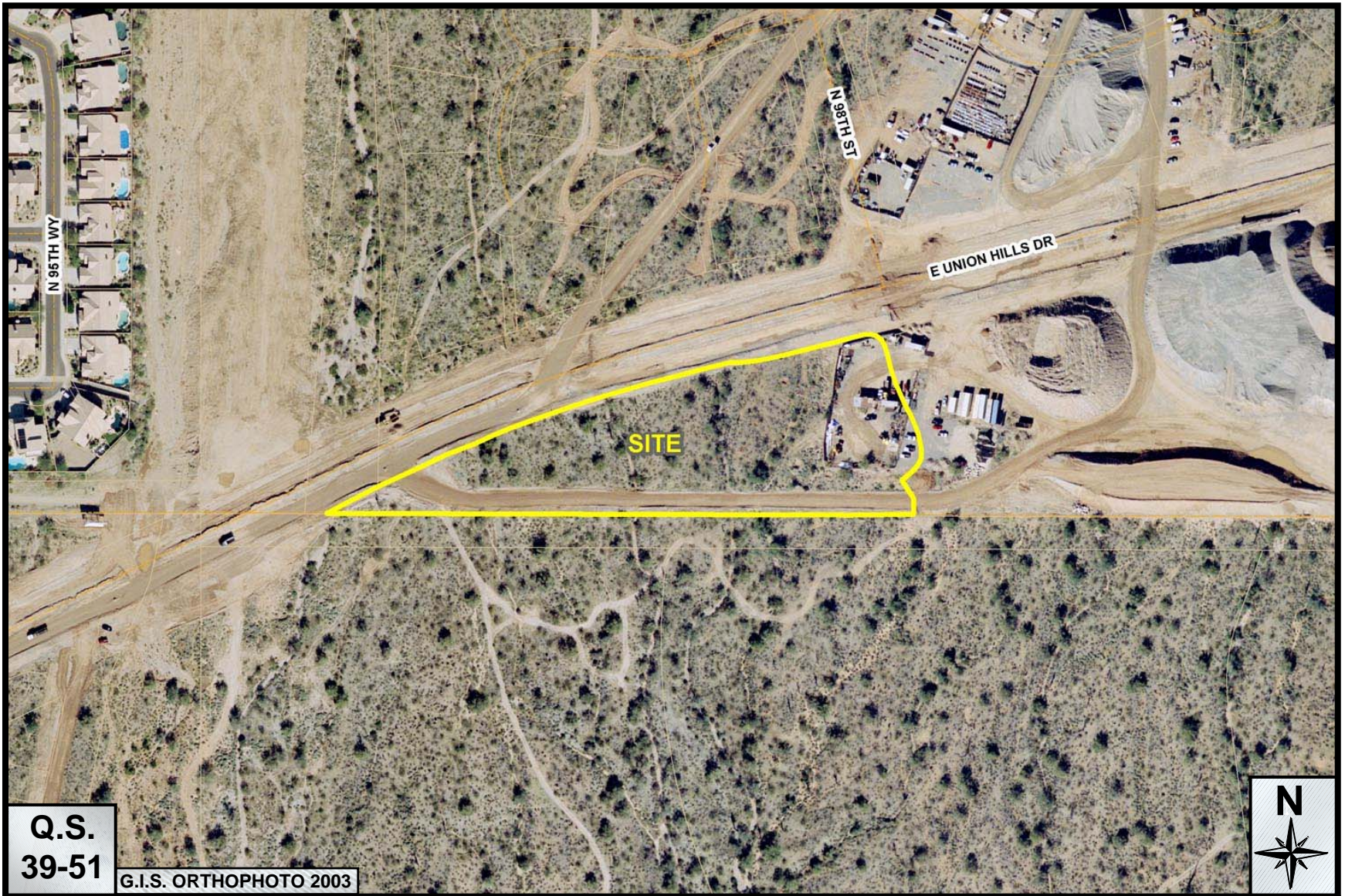
The Community Center exterior walls will be lit with indirect accent lighting. Accent lighting will also be utilized in the landscaped areas and along circulation routes in the parking area. The outdoor activity areas will be designed with minimal area lighting and with accent lighting for nighttime functions. The owner will agree to turn off all exterior parking lot, site, and exterior building mounted lighting, excluding security lighting, no later than 10 p.m. or one (1) hour after the conclusion of events, whichever occurs latter.



Desert Park Community Center

13-DR-2005

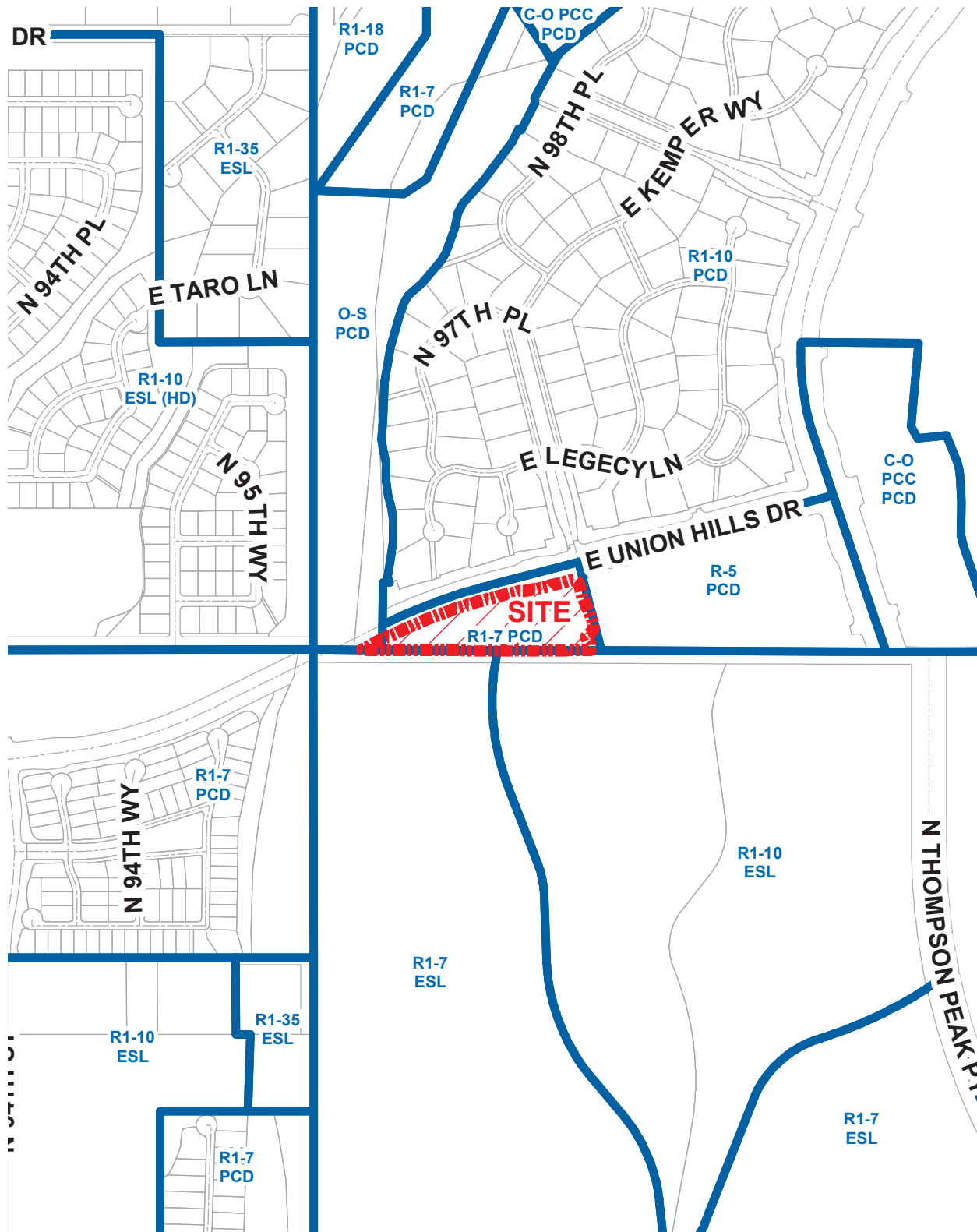
ATTACHMENT #2



Desert Park Community Center

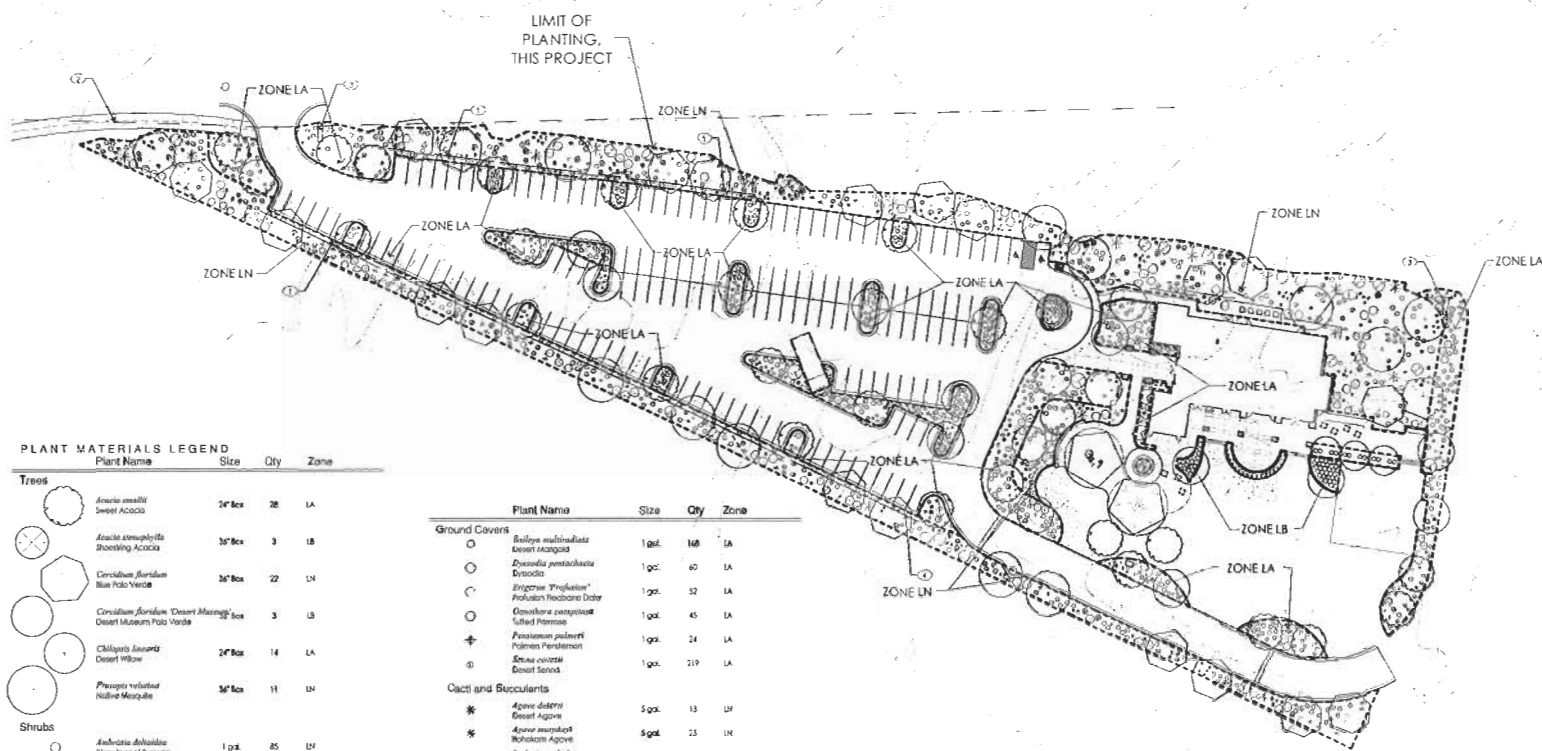
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ATTACHMENT #2A



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ATTACHMENT #3



PLANT MATERIALS LEGEND

Plant Name	Size	Qty	Zone
Trees			
<i>Acacia smallii</i> Sweet Acacia	36" Box	28	LA
<i>Acacia conophylla</i> Showwing Acacia	36" Box	3	LB
<i>Cerciditer floridum</i> Blue Palo Verde	36" Box	22	LN
<i>Cerciditer floridum</i> "Desert Museum" Desert Museum Palo Verde	36" Box	3	LB
<i>Chilopsis linearis</i> Desert Willow	24" Box	14	LA
<i>Prosopis juliflora</i> Hillside Mesquite	36" Box	11	LN
Shrubs			
<i>Arctostaphylos</i> Hempel Leaf Bursage	1 gal.	85	LN
<i>Artemisia tridentata</i> Quail Bush	5 gal.	30	LA
<i>Callisander californica</i> Red Fairy Gutter	5 gal.	26	LA
<i>Encelia farinosa</i> Brittlebush	5 gal.	38	LN
<i>Ephedra viridis</i> Mormon Tea	5 gal.	10	LN
<i>Eriogonum fasciculatum</i> Tupelina Bush	5 gal.	42	LN
<i>Euphorbia alamosensis</i> Tallgrass Wood	5 gal.	24	LA
<i>Juniperus californica</i> Chaparral	5 gal.	30	LN
<i>Juniperus spicata</i> Western Honeycreeper	5 gal.	34	LB
<i>Larrea tridentata</i> Creosote	5 gal.	25	LN
<i>Muhlenbergia rigida</i> Dier Grass	5 gal.	26	LA
<i>Rhus microcarpa</i> Desert Kudo	5 gal.	19	LA
<i>Sarcobatus vermiculatus</i> Sagebrush	5 gal.	47	LN
<i>Sphaeralcea ambigua</i> Globe Mallow	1 gal.	65	LN
<i>Tymonum zoster</i> Yellow Bell	5 gal.	6	LA
<i>Viguiera divaricata</i> Oddeneye	5 gal.	33	LN

Plant Name	Size	Qty	Zone
Ground Covers			
<i>Basilys multiflora</i> Desert Anemone	1 gal.	168	LA
<i>Dioscorea pentastachya</i> Dioscorea	1 gal.	60	LA
<i>Eriogonum "Progenium"</i> Purshian Theobroma Darter	1 gal.	32	LA
<i>Gnaphalium complanatum</i> Tall Grass	1 gal.	45	LA
<i>Penstemon pulchellus</i> Palmer's Penstemon	1 gal.	24	LA
<i>Senecio coccineus</i> Desert Senecio	1 gal.	219	LA
Cacti and Succulents			
<i>Agave deserti</i> Desert Agave	5 gal.	13	LN
<i>Agave americana</i> Mexican Agave	5 gal.	25	LN
<i>Azalea subulata</i> Desert Allwood	1 gal.	47	LA
<i>Baylisia rubra</i> Desert Spoon	5 gal.	11	LN
<i>Ferocactus acanthodes</i> Cactus Barrel	bars root	24	LN
<i>Fouquieria splendens</i> Saguaro	bars root	19	LN
<i>Hesperaloe parviflora</i> Red Yucca	5 gal.	21	LB
<i>Lophoceros schottii</i> Sagebrush	5 gal.	5	LA
<i>Opuntia basilaris</i> Bovortall Pickley Pear	1 gal.	20	LA
<i>Opuntia engelmannii</i> Reddy Bear Cholla	1 gal.	24	LN
<i>Opuntia engelmannii</i> Angelmann's Pickley Pear	1 gal.	44	LN
<i>Opuntia violacea senta-via</i> Purple Pickley Pear	1 gal.	16	LA
<i>Sarcocornus elaeagnifolia</i> Organ Pipe Cactus	5 gal.	15	LA
<i>Yucca baccata</i> Barnard Yucca	5 gal.	10	LN
Mass Planting			
Grass	Quantity	16,668	LN
Best Cobble, per 0.45 ft. x 0.45 ft. x 0.45 ft.			

NOTES:
 1. All quantities are approximate.
 2. All quantities are approximate.
 3. All quantities are approximate.

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Desert Parks Community Center
 DC Ranch

GREEN PICKETT
 landscape architecture community design



SCOTT ARONOFF

DESIGN REPORT
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KEYED NOTES

1. TWO-PIECE CLAY MESQUITE TILE - CT-1
2. 4"x8" RESAWN SHAPED RAFTER TAIL - WS-1
3. 8"x8" RESAWN WOOD POST - WS-1
4. SEE STRUCTURAL
5. PAINTED INSULATED STUCCO SYSTEM - P-1
6. PRE-FINISHED INSULATED ALUMINUM WINDOW/DOOR
SYSTEM - P-2
7. 8"x8" RESAWN WOOD POST - WS-1
8. PAINTED STUCCO 4"CMU - P-3
9. 8"x8" RESAWN WOOD BEAM - WS-1
10. 4"x12" WOOD BEAM - WS-1
11. BRICK w/ P.C. CONCRETE PARAPET CAP - B-1
12. 8"x8" RESAWN SHAPED CORNELL - WS-1
13. DECORATIVE IRON GRILLE
NOT USED
14. BRICK w/ P.C. CONCRETE WOODWALL - B-1
15. PAINTED HOLLOW METAL DOOR AND FRAME
16. PAINTED STUCCO 4"CMU SITE WALL - SEE
LANDSCAPE - P-1
17. APPROXIMATE FINISHED GRADE
18. FINISHED FLOOR
19. PAINTED METAL HANGAR - P-2
20. STAINED BOARD & BATTEN Siding - WS-1

COLOR LEGEND

- CT-1: ROOF TILE: REDLAND CLAY TILE
ADOBES BROWN BLEND/CARFÉ ANTIGUA
BLOND
- WS-1: WOOD STAIN, BEAMS & SIDING
OLYMPIC SEMI-TRANSPARENT #725
- P-1: STUCCO PAINT
SHERWIN WILLIAMS SW 6102
"PORTABELLA"
- P-2: WINDOW/DOOR FRAMES, GUARDRAIL
PAINT
SHERWIN WILLIAMS SW6054 "CANYON
CLAY"
- P-3: STUCCO PAINT
SHERWIN WILLIAMS SW 8555 "TIERRY
BROWN"
- B-1: BRICK TRIM
PHOENIX BRICK #54

DESIGN REVIEW

REVISION



SHJ STUDIO

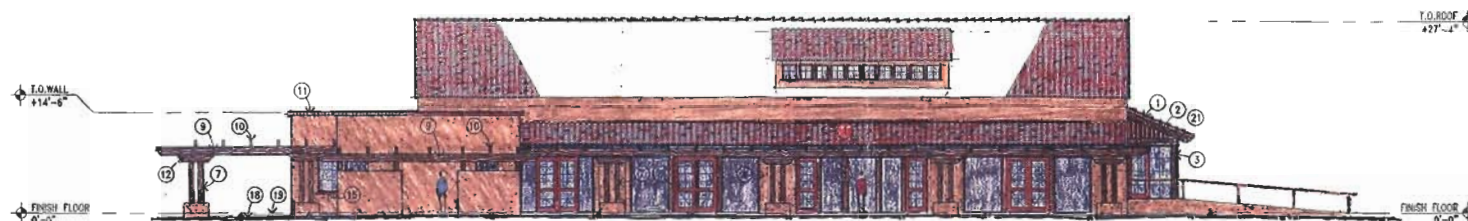
1110 E. Missouri Ave #380
Phoenix, Arizona 85014
phone 602-248-8912
textline 602-248-4967
email info@shjstudio.com

ELEVATIONS

12/17/04

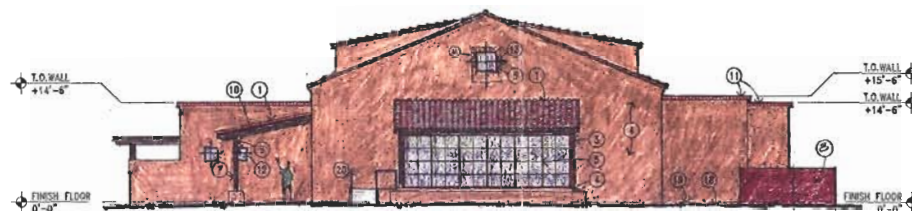
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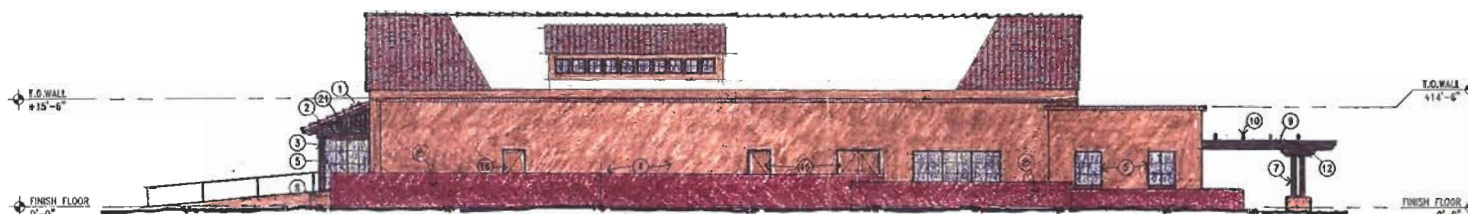
1 SOUTH ELEVATION

1/8"=1'-0"



2 EAST ELEVATION

1/8"=1'-0"



3 NORTH ELEVATION

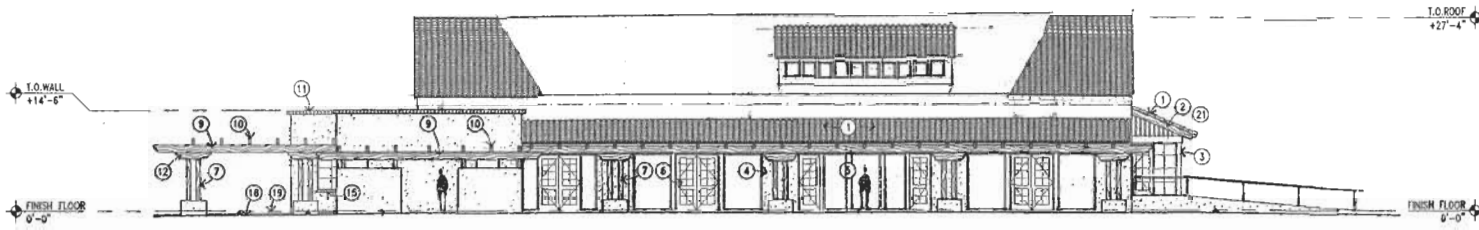
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4 WEST ELEVATION

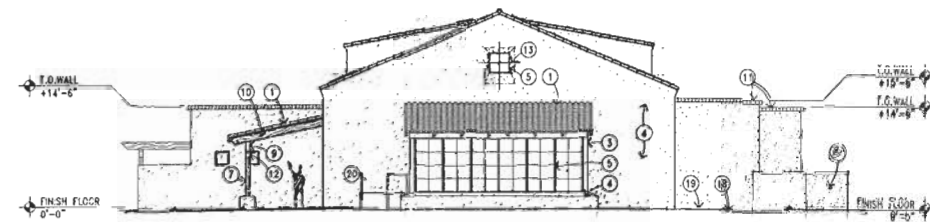
1/8"=1'-0"

ATTACHMENT #6



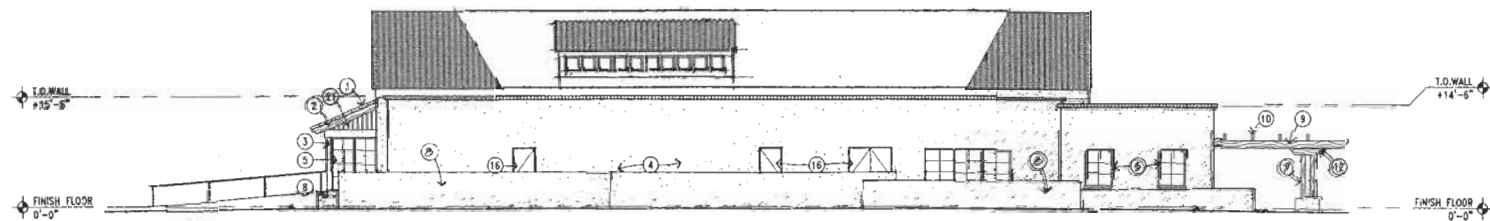
1 SOUTH ELEVATION

1/8"=1'-0"



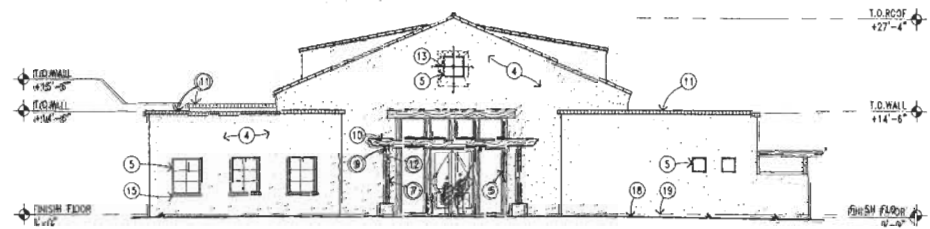
2 EAST ELEVATION

1/8"=1'-0"



3 NORTH ELEVATION

1/8"=1'-0"



4 WEST ELEVATION

1/8"=1'-0"

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KEY NOTES

1. TWO-Piece CLAY MASON TILE - CT-1
2. 4"x6" REBARN SHAPED RAFTER TIE - WS-1
3. 8"x8" REBARN WOOD POST - WS-1
4. SEE STRUCTURAL
5. PAINTED INSULATED STUCCO SYSTEM - P-1
6. PRE-FINISHED INSULATED ALUMINUM WINDOW/DOOR SYSTEM - P-2
7. NOT USED
8. 8"x8" REBARN WOOD POST - WS-1
9. PAINTED STUCCO W/CMU - P-3
10. 8"x12" REBARN WOOD BEAM - WS-1
11. 8"x12" WOOD BEAM - WS-1
12. BRICK w/ P.C. CONCRETE PARAPET CAP - B-1
13. 8"x8" REBARN SHAPED CORBEL - WS-1
14. DECORATIVE IRON GRILLE
15. NOT USED
16. BRICK w/ P.C. CONCRETE WINDOW SILL - B-1
17. PAINTED HOLLOW METAL DOOR AND FRAME
18. PAINTED STUCCO W/CMU RETE WALL - SEE LANDSCAPE - P-1
19. APPROXIMATE FINISHED GRADE
20. FINISHED FLOOR
21. STAINED BOARD & BATTEN SIDING - WS-1

COLOR LEGEND

- CT-1 ROOF TILE: REDLAND CLAY TILE
ADOBE BROWN @ ENDOCAFE ANTIGUA BLEND
- WS-1 WOOD STAIN, BEAMS & SIDING
OLYMPIC SEMI-TRANSPARENT #725
- P-1 STUCCO PAINT
SHERWIN WILLIAMS SW #102 "PORTABELLA"
- P-2 WINDOW/DOOR FRAMES, GUARDRAIL PAINT
SHERWIN WILLIAMS SW6254 "CANYON CLAY"
- P-3 STUCCO PAINT
SHERWIN WILLIAMS SW 6055 "FIFTY BROWN"
- B-1 BRICK TRIM
PHOENIX BRICK #24

ATTACHMENT #7

1. 1/8"=1'-0" SCALE
2. 1/4"=1'-0" SCALE
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Desert Park Community Center
DC Ranch
98th Street and Union Hills Drive
Scottsdale, Arizona

FIRE ORDINANCE REQUIREMENTS

(INCORPORATE INTO BUILDING PLANS AS GENERAL NOTE BLOCK - USE ONLY THE DESIGNATED STIPULATIONS)

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| <p><input checked="" type="checkbox"/> 1. PREMISES IDENTIFICATION TO BE LEGIBLE FROM STREET OR DRIVE & MUST BE ON ALL PLANS.</p> <p><input checked="" type="checkbox"/> 2. FIRE LANES & EMERGENCY ACCESS SHALL BE PROVIDED & MARKED IN COMPLIANCE WITH CITY ORDINANCE & IFC AT THE FOLLOWING LOCATIONS.</p> <p style="margin-left: 20px;"><u>As Shown</u></p> <p>_____</p> <p>_____</p> <p><input checked="" type="checkbox"/> 3. IT IS THE DEVELOPERS RESPONSIBILITY TO DETERMINE ULTIMATE COMPLIANCE WITH THE FAIR HOUSING ADMENDMENTS ACT & AMERICANS WITH DISABILITIES ACT & INCORPORATE SAME INTO THEIR BUILDING PLANS.</p> <p><input type="checkbox"/> 4. SUBMIT PLANS & SPECS FOR SUPERVISED AUTOMATIC EXTINGUISHING SYSTEM FOR ALL COOKING APPLIANCES, HOOD PLENUMS & EXHAUST DUCTS.</p> <p><input checked="" type="checkbox"/> 5. PROVIDE A KNOX ACCESS SYSTEM:</p> <p style="margin-left: 20px;"><input checked="" type="checkbox"/> A. KNOX BOX</p> <p style="margin-left: 20px;"><input type="checkbox"/> B. PADLOCK</p> <p style="margin-left: 20px;"><input type="checkbox"/> C. KNOX OVERRIDE & PRE-EMPTION STROBE SWITCH FOR AUTOMATIC GATES.</p> <p><input checked="" type="checkbox"/> 6. INSTALL AN AS BUILT DRAWING CABINET ADJACENT TO THE FIRE SPRINKLER RISER. IT SHALL BE OF ADEQUATE SIZE TO ACCOMMODATE BOTH THE FIRE SPRINKLER & FIRE ALARM DRAWINGS. THE CABINET SHALL BE PROVIDED WITH A LOCK & KEYED TO MATCH THE FIRE ALARM CONTROL PANEL & SUPERVISED BY THE FACP IF APPLICABLE.</p> <p><input type="checkbox"/> 7. SUBMIT PLANS FOR A CLASS _____ FIRE ALARM SYSTEM PER SCOTTSDALE REVISED CODES.</p> <p><input checked="" type="checkbox"/> 8. PROVIDE INTERIOR TENANT NOTIFICATION WHEN OFF-SITE MONITORING IS REQUIRED.
 <small>(SEE FIRE ALARM INTERPRETATIONS FOR CLARIFICATION)</small></p> <p><input type="checkbox"/> 9. ADD 2-1/2" WET FIRE HOSE VALVES (NSHT) IF FLOOR AREA EXCEEDS 10,000 SQ. FT. PER FLOOR LEVEL AND/OR IF FIRE DEPT. ACCESS IS LIMITED TO LESS THAN 360°. _____</p> <p>_____</p> <p><input type="checkbox"/> 10. BUILDINGS MAY BE SUBJECT TO INSTALLATION AND TESTING REQUIREMENTS FOR A PUBLIC SAFETY RADIO AMPLIFICATION SYSTEM.</p> | <p><input checked="" type="checkbox"/> 11. BACKFLOW PREVENTION WILL BE REQUIRED ON VERTICAL RISER FOR CLASS 1 & 2 FIRE SPRINKLER SYSTEMS PER SCOTTSDALE REVISED CODE.</p> <p><input checked="" type="checkbox"/> 12. PROVIDE ALL WEATHER ACCESS ROAD (MIN. 16') TO ALL BUILDINGS & HYDRANTS FROM PUBLIC WAY DURING CONSTRUCTION.</p> <p><input checked="" type="checkbox"/> 13. SEE APPROVED CIVILS FOR THE NUMBER OF FIRE HYDRANTS REQUIRED. DEVELOPER SHALL HAVE THE REQUIRED HYDRANTS INSTALLED & OPERABLE PRIOR TO THE FOOTING INSPECTION. HYDRANTS SHALL BE SPACED AT A MAXIMUM OF _____ AT _____ GPM. THE DEVELOPER SHALL MAKE THE C.O.S. APPROVED CIVIL WATER PLANS AVAILABLE TO THE FIRE SPRINKLER CONTRACTOR.</p> <p><input checked="" type="checkbox"/> 14. PORTABLE FIRE EXTINGUISHERS SHALL BE INSTALLED. SEE SHEET(S) _____</p> <p><input checked="" type="checkbox"/> 15. EXIT & EMERGENCY LIGHTING SHALL COMPLY WITH THE C.O.S. ORDINANCE & THE IFC. SEE SHEETS _____</p> <p><input checked="" type="checkbox"/> 16. SUBMIT MSDS SHEETS & AGGREGATE QUANTITY FOR ALL HAZARDOUS MATERIALS INCLUDING FLAMMABLES, PESTICIDES, HERBICIDES, CORROSIVES, OXIDIZERS, ETC. A PERMIT IS REQUIRED FOR ANY AMOUNT OF HAZARDOUS MATERIALS STORED, DISPENSED, USED OR HANDLED. COMPLETE AN HMMP & SUBMIT WITH THE BUILDING PLANS.</p> <p><input checked="" type="checkbox"/> 17. FIRELINE, SPRINKLER & STANDPIPE SYSTEM SHALL BE FLUSHED & PRESSURE TESTED PER NFPA STANDARDS & SCOTTSDALE REVISED CODES.</p> <p><input checked="" type="checkbox"/> 18. FDC SIAMESE CONNECTIONS FOR SPRINKLERS AND/OR STANDPIPES WILL BE LOCATED PER ORDINANCE AND/OR AT AN APPROVED LOCATION. MINIMUM SIZE 2-1/2 x 2-1/2 x 4" (NSHT)</p> <p style="margin-left: 20px;"><input checked="" type="checkbox"/> 4' TO 8' BACK OF CURB; INDEP. WET LINE.</p> <p style="margin-left: 20px;"><input type="checkbox"/> WALL MOUNTED - 15' CLEAR OF OPENINGS.</p> <p><input type="checkbox"/> 19. THE FIRE LINE SHALL BE EXTENDED A MAXIMUM OF 3' INTO THE BUILDING WITH A MINIMUM OF 3' CLEARANCE AROUND THE FIRE RISER. EXTERIOR ACCESS REQUIRED.</p> |
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20. ☒ SPRINKLER SYSTEM SHALL BE INSTALLED TO COMPLY WITH MINIMUM NFPA CRITERIA 2002 EDITION & SCOTTSDALE REVISED CODES. SYSTEMS WITH 100 HEADS OR MORE SHALL HAVE OFF-SITE MONITORING. AFTER BUILDING PLAN REVIEW, INSTALLING CONTRACTOR SHALL SUBMIT (3) THREE COMPLETE SETS OF DRAWINGS & HYDRAULIC CALCULATIONS REVIEWED BY A MINIMUM NICET III DESIGN TECHNICIAN.
- ☐ A. MODIFIED NFPA 13-D SYSTEM WITH RESIDENTIAL QUICK RESPONSE SPRINKLER HEADS (2002 EDITION)
- ☐ B. MODIFIED NFPA 13R SYSTEM (2002 EDITION) WITH RESIDENTIAL QUICK RESPONSE SPRINKLER HEADS IN DWELLING UNITS & ATTIC AREAS FED FROM SEPARATE FIRELINE PER C.O.S. ORDINANCE & INTERPRETATIONS & APPLICATIONS. CALCULATE UP TO FOUR REMOTE HEADS & 900 SQ FT MIN. IN ATTIC.
- ☒ C. NFPA 13 2002 EDITION COMMERCIAL SYSTEM / DESIGN CRITERIA: SEISMIC DESIGN CATEGORY SHALL BE DETERMINED BY STRUCTURAL ENGINEER.
- ☐ D. THE FIRE SPRINKLER SYSTEM DESIGN FOR WAREHOUSE / STORAGE OCCUPANCIES SHALL BE BASED ON THE FULL HEIGHT CAPACITY OF THE BUILDING PER SCOTTSDALE REVISED CODE. DENSITY CRITERIA:
- ☐ E. SPRINKLER DESIGN CRITERIA FOR UNSPECIFIED WAREHOUSE COMMODITIES: .45 OVER 3000 SQ. FT.
- ☐ F. THE PROJECT SPECIFICATIONS SHALL BE SUBMITTED WITH CONTRACT DRAWINGS.
- ☐ G.

Submit three (3) complete sets of drawings submitted by installing contractor, after building plan review is complete. Please refer questions to Fire Dept. Plan Review, 312-7070, 312-7684, 312-7127, 312-2372.

Stipulations for Case: Desert Parks Community Center– DC Ranch Parcel T5C Case 13-DR-2005

Unless otherwise stated, the applicant agrees to complete all requirements prior to final plan approval, to the satisfaction of Project Coordinator and the Final Plans staff.

PLANNING

APPLICABLE DOCUMENTS AND PLANS:

DRB Stipulations

1. Except as required by the City Code of Ordinances, Zoning Regulations, Subdivision Regulations, The most current recorded City of Scottsdale / DC Ranch Development Agreement at time of the approval, and the other stipulations herein, the site design and construction shall substantially conform to the following documents:
 - a. Architectural elements, including dimensions, materials, form, color, and texture, shall be constructed to be consistent with the building elevations submitted by SHJ Studio with a date provided on the plan by city staff of 2/9/05.
 - b. The location and configuration of all site improvements shall be constructed to be consistent with the site plan submitted by Wood/Patel with a date provided on the plan by city staff of 2/9/05.
 - c. Landscaping, including quantity, size, and location of materials shall be installed to be consistent with the conceptual landscape plan submitted by Greey/Pickett with a date provided on the plan by city staff of 2/9/05.
 - d. The development shall be in compliance with the DC Ranch Planning Unit Master Plans for Planning Units 3,5,6.
 - e. The development shall be in compliance with the amended DC Ranch Town Center Generalized Design Concept Plan.

ARCHITECTURAL DESIGN:

DRB Stipulations

2. The service entrance section(s) shall be fully screened from public view in a service yard, or the front face(s) shall be flush with the building facade. The service entrance section(s) shall be painted to match the building.
3. All exterior mechanical, utility, and communications equipment shall be screened by parapet or wall that matches the architectural color and finish of the building. Wall or parapet height for roof-mounted units shall meet or exceed the height of the tallest unit. Wall height for ground-mounted units shall be a minimum of 1 foot higher than the tallest unit.
4. No exterior roof ladder shall be allowed where they are visible to the public or from an off-site location.
5. Wall enclosures for refuse bins or trash compactors shall be constructed of materials that are compatible with the building on the site in terms of color and texture.
6. The screen wall adjacent to the south property line shall be a rusted metal panel design.
7. Walls and fencing shall match the architectural elements, color, materials and finish of the building.

Ordinance

- A. Building height shall comply with the amended DC Ranch Town Center Generalized Design Concept Plan.

ATTACHMENT B

SITE DESIGN:**DRB Stipulations**

8. The developer shall provide an accessible route from the Union Hills Drive right-of-way to the main building, which does not utilize the drive aisles.
9. An accessible route shall be provided from the accessible parking stalls to the buildings main entry without going through the parking drive aisle.

OPEN SPACE:**Ordinance**

- B. With final plans submittal, the developer shall submit a revised Town Center Land Use and Open Space Budget that includes the updated open space area with the final plans submittal.
- C. The monument and sign shall comply with the Zoning Ordinance.

LANDSCAPE DESIGN:**DRB Stipulations**

10. Landscaping that is provided, which is not on the ADWR-PHX plant list, shall not exceed the maximum allowable water intensive plant calculation in accordance with the City of Scottsdale's City Code.

Ordinance

- D. Of the provided trees, 50 percent shall mature (1 inch multi trunk, and 2-inch single truck) in accordance with the DC Ranch Amended Development Standards, as defined by the Zoning Ordinance.

EXTERIOR LIGHTING DESIGN:**DRB Stipulations**

11. All exterior luminaries shall be consistent with the DC Ranch Thematic Character Study for applicable Planning Units.
12. Exterior luminaries shall meet all IESNA requirements for full cutoff, and shall be aimed downward and away from property line except for sign and parking lot canopy lighting.
13. The individual luminary lamp shall not exceed 250 watts with the exception of the basketball court fixture lamp sources.
14. Any fixture that utilizes a lamp greater than 250 watts shall utilize extension shielding to the satisfaction of the City of Scottsdale's Planning and Developments Services Dept.
15. All HID lamp sources shall be HPS with the exception of the basketball court.
16. All exterior light poles, pole fixtures, and yokes, shall be a flat black or dark bronze.
17. Incorporate into the project's design, the following:

Parking Lot and Site Lighting:

- a. The maximum height from finished grade to the bottom of the any exterior luminary shall not exceed sixteen (16) feet.
- b. The maintained average horizontal luminance level at grade on the site shall not exceed 1.5 foot-candles.
- c. The maintained maximum horizontal luminance level at grade on the site shall not exceed 6.0 foot-candles. All exterior luminaries shall be included in this calculation.
- d. The initial vertical illuminance at 6.0 foot above grade, along the entire property line (or 1 foot outside of any block wall exceeding 5 foot in height) shall not exceed 0.3 foot-candles. All exterior luminaries shall be included in this calculation.

Building Mounted Lighting:

- e. The maximum height from finished grade to the bottom of the any exterior luminary shall not exceed twelve (12) feet.
- f. All luminaries shall be recessed or shielded so the light source is not directly visible from property lines.

Landscape Lighting

- g. All landscape lighting directed upward shall utilize the extension visor shields to limit the view of the lamp source.
- h. All landscape lighting directed upward shall be aimed away from nearest property line.
- i. Any landscape lighting hanging in vegetation shall contain recessed lamps and be directed downward and away from nearest property lines.
- j. The landscape lighting lamp shall be an incandescent or halogen incandescent source, and shall not exceed 50 watts.

VEHICULAR AND BICYCLE PARKING:

DRB Stipulations

- 18. Bike rack design shall be in conformance the approved DC Ranch bike rack detail.

Ordinance

- E. Bike parking shall be provided adjacent to the main building entry in accordance with the Zoning Ordinance requirements.

ADDITIONAL PLANNING ITEMS:

DRB Stipulations

- 19. Flagpoles, if provided, shall be one piece, conical, and tapered.
- 20. Patio umbrellas shall be solid colors and shall not have any advertising in the form of signage or logos.

RELEVANT CASES:

Ordinance

- F. At the time of review, the applicable zoning case(s) for the subject site were: 54-ZN-1989#1-8 and 34-UP-2004, all stipulations continue to apply.

ENGINEERING

The following stipulations are provided to aid the developer in submittal requirements, and are not intended to be all inclusive of project requirements. The developer shall submit engineering design reports and plans that demonstrate compliance with city ordinances, the Scottsdale Revised Code and the Design Standards and Policies Manual.

APPLICABLE DOCUMENTS AND PLANS:

21. Demonstrate consistency with the following reports and improvement plans: Improvement plans and drainage reports for Union Hills Drive Community Facilities District from Thompson Peak Parkway to 91st Street dated 11/13/03 and the DC Ranch Horseshoe Canyon to Pima Road sewer plans dated 2/13/03.

DRAINAGE AND FLOOD CONTROL:

DRB Stipulations

22. A final drainage report shall be submitted that demonstrates consistency with the conceptual drainage report approved in concept by the Planning and Development Services Department.
- a. Before the approval of improvement plans by city staff, the developer shall submit two (2) hard copies and one (1) compact disc copy of the complete final drainage report and plan.
23. Demonstrate consistency with the approved master drainage plan and report entitled DC Ranch Planning Units 3, 5, and 6 Drainage Master Plans.
- a. Any design that modifies the approved master drainage report requires from the developer a site-specific addendum to the final drainage report and plan, subject to review and approval by the city staff.
 - b. Addendum generated by the final drainage analysis for this site shall be added to the appendix of the final drainage report.
 - c. The final drainage report will need to include an analysis that clearly shows that the 100-year flow rate exiting this site for the developed condition does not exceed the 100-year flow rate for the DC Ranch undeveloped condition (prior to CFD projects).
24. The proposed storm drain system located along Union Hills Drive shall meet the following requirements.
- a. The storm drain system shall be aligned to provide a minimum of 6 feet of clearance from the existing PUE along Union Hills Drive.
 - b. The storm drain system shall be located within a 20-foot-wide drainage easement. The drainage easement shall not overlap with the existing PUE along Union Hills Drive.
 - c. No trees or major cacti shall be planted within 7 feet of the centerline of the storm drain system.
 - d. Final plans shall show the details of the storm drain system to its terminus within the Reata Wash.

ROADWAY, INTERSECTION, AND ACCESS DESIGN:

Streets and other related improvements:

STREET NAME	STREET TYPE	R.O.W. DEDICATION	ROADWAY IMPROVEMENT	CURB TYPE	BIKE PATH, SIDEWALK, TRAILS
Union Hills Drive	Major Arterial	*See note below.	*See note below.	*See note below.	*See note below.

***Right of way dedications have been provided, and the construction of off-site roadway and sidewalk improvements have been approved and constructed as part of the Union Hills Drive Community Facilities District project.**

DRB Stipulations

25. Site access, driveway locations, street cross sections, path and trail requirements, etc., shall be in conformance with the approved Master Circulation Plan for Units III, V, and VI of DC Ranch and any approved amendments.
26. The developer shall design and construct the site driveway on Union Hills Drive in general conformance with City of Scottsdale Standard detail 2257, type CH-1. This access shall be restricted to right-in, right-out only.
27. The developer shall be responsible for any modifications to the medians in Thompson Peak Parkway and Union Hills Drive to provide site access as outlined above.
28. Emergency and service vehicle access easements shall be dedicated over the internal driveways.

Ordinance

- G. The developer shall submit a detailed striping and signage plan with final plans. The striping and signage plan shall include all existing improvements and striping within 300 feet of the limits of construction, and all signs, striping, or other traffic control devices proposed to accommodate phased and ultimate construction.

INTERNAL CIRCULATION:**DRB Stipulations**

29. The developer shall provide a minimum parking-aisle width of 24 feet.
30. The developer shall provide internal circulation that accommodates emergency and service vehicles with an outside turning radius of 45 feet and inside turning radius of 25 feet.
31. The sidewalk along Union Hills Drive shown on the site plan by Wood Patel dated 2/9/05 by the City shall be extended from the proposed driveway entrance on Union Hills Drive to the east along the site frontage along Union Hills Drive and shall connect to the building and turnaround area.
32. An additional handicap ramp shall be provided at the turnaround near the entry sidewalk to the building.

Ordinance

- H. Parking areas shall be improved with a minimum of 2.5 inches of asphalt over 4 inches of aggregate base.

DRB Stipulations

33. Sight distance easements shall be dedicated over sight distance triangles.
 - a. Sight distance triangles must be shown on final plans to be clear of landscaping, signs, or other visibility obstructions between 2 feet and 7 feet in height.
 - b. Refer to the following figures: 3.1-13 and 3.1-14 of Section 3.1 of the City's Design Standards and Policies Manual, published December 1999.
34. Vehicular Non-Access Easement:
 - a. Prior to final plan approval, the developer shall dedicate a 1-foot wide vehicular non-access easement along the property frontage on Union Hills Drive except at the approved driveway location.
35. Indemnity Agreements:

- a. When substantial improvements or landscaping are proposed within a utility easement, an indemnity agreement shall be required. The agreement shall acknowledge the right of the City to access the easement as necessary for service or emergencies without responsibility for the replacement or repair of any improvements or landscaping within the easement.

Ordinance

I. Drainage Easement:

- (1) Drainage and flood control easements shall be dedicated to the City to the limits of inundation for all vista corridor washes, for all washes having a discharge rate of 50 cfs or more, for all FEMA regulatory floodways to the extent of the 100-year base flood elevation, and for all stormwater storage basins. All drainage and flood control easements shall be dedicated to the City with maintenance responsibility specified to be that of the property owner.

J. Waterline and Sanitary Sewer Easements:

- (1) Before the issuance of any building permit for the site, the developer shall dedicate to the City, in conformance with the Scottsdale Revised Code and the Design Standards and Policies Manual, all water easements necessary to serve the site.

REFUSE:

DRB Stipulations

- 36. Refuse enclosures shall be individual. Improvement plans shall designate the location of individual container pickup. Pickup shall be along main drive aisle.

Ordinance

- K. Refuse collection methods, i.e., site plan circulation will be approved at final plan review.
- L. Refuse collection can be provided by the City of Scottsdale's Sanitation Division, at 480-312-5600.
- M. The refuse enclosure shown on the site plan by Wood Patel dated 2/9/05 by the City shall be reoriented and/or relocated to provide direct pickup by refuse vehicles.

WATER AND WASTEWATER STIPULATIONS

The following stipulations are provided to aid the developer in submittal requirements, and are not intended to be all-inclusive of project requirements. Water and sewer lines and services shall be in compliance with City Engineering Water and Sewer Ordinance, the Scottsdale Revised Code and Sections 4 and 5 of the Design Standards and Policies Manual.

DRB Stipulations

- 37. Where walls cross or run parallel with public water mains, public sewer mains, or public fire lines the following shall apply:
 - a. For walls constructed parallel to these pipes, the walls shall be a minimum of six (6) feet from the outside diameter of the pipe.

WATER:

DRB Stipulations

38. Backflow Prevention

- a. Backflow prevention for the proposed fire service shall be by a vertical riser located within the proposed building and shall be designed as per Rural Metro requirements and details.

- b. The water line that feeds the fire hydrant located west of the proposed building shall be a minimum of 8 inches in diameter.

Ordinance

- N. The water system for this project shall meet required health standards and shall have sufficient volume and pressure for domestic use and fire protection.

WASTEWATER:**DRB Stipulations**

- 39. Wastewater Basis of Design Report. Before the second improvement plan submittal to the Plan Review and Permit Services Division, the developer shall obtain approval of the Wastewater Basis of Design Report from the City's Water Resources Department. The report shall conform to the draft Water and Wastewater Report Guidelines available from the City's Water Resources Department.
- 40. On-site sanitary sewer shall be privately owned and maintained.
- 41. Existing water and sewer service lines to this site shall be utilized or shall be abandoned by disconnection at the main.
- 42. The proposed screen walls shown on the site plan by Wood Patel dated 2/9/05 by the City and located along the south property line within the existing sewer easement will be allowed to remain within the sewer easement if located at the south property line and an indemnity agreement is provided.
- 43. No trees or major cacti shall be planted within 7 feet of the centerline of the existing sewer line.

Ordinance

- O. Privately owned sanitary sewer shall not run parallel within the waterline easement.
- P. Grease interceptors shall be provided at restaurant connections to the sanitary sewer. The interceptors shall be located as to be readily and easily accessible for cleaning and inspection.

CONSTRUCTION REQUIREMENTS**DRB Stipulations**

- 44. City staff may at any time request the developer to submit as-built plans to the Inspection Services Division.
 - a. As-built plans shall be certified in writing by a registered professional civil engineer, using as-built data from a registered land surveyor.
 - b. As-built plans for drainage facilities and structures shall include, but are not limited to, streets, lot grading, storm drain pipe, valley gutters, curb and gutter, flood walls, culverts, inlet and outlet structures, dams, berms, lined and unlined open channels, storm water storage basins, underground storm water storage tanks, and bridges as determined by city staff.

Ordinance

- Q. Section 404 permits. With the improvement plan submittal to the Plan Review and Permit Services Division, the developer's engineer must certify that it complies with, or is exempt from, Section 404 of the Clean Water Act of the United States. [Section 404 regulates the discharge of dredged or fill material into a wetland, lake, (including dry lakes), river, stream (including intermittent streams, ephemeral washes, and arroyos), or other waters of the United States.]

VERIFICATION OF COMPLIANCE

DRB Stipulations

45. Condition for issuance of grading and drainage permit: Before the issuance of a Grading & Drainage Permit:

- a. Improvements and grading affecting the storm drain and sewer near the south property line shall be done in a manner that maintains City maintenance access along these utilities and meets minimum cover requirements over the storm drain.